

MISS FIONA MACLEOD

Our Ref: MCU191

Doc No: 549386

18 March 2021

South West Indigenous Corporation  
Paul Kelly  
C/- Precinct Urban Planning  
PO Box 3038  
**TOOWOOMBA QLD 4350**

**Via email:** [paul@precinctplan.com.au](mailto:paul@precinctplan.com.au)

Attention: Paul Kelly

Dear Paul,

### **Decision notice approval**

(Given under section 63(2) of the *Planning Act 2016*)

The development application described below was properly made to the Balonne Shire Council on 5 February 2021.

#### **Applicant details**

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Applicant name: South West Indigenous Corporation  
Paul Kelly  
C/- Precinct Urban Planning

Applicant contact details: PO Box 3038  
TOOWOOMBA QLD 4350  
Email: [paul@precinctplan.com.au](mailto:paul@precinctplan.com.au)

#### **Application details**

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Application number: MCU191

Approval sought: Development Permit

Details of proposed development: Development application for Material Change of Use – "Community Use"

### Location details

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Street address: 72-76 Saint Georges Terrace, St George QLD 4487

Real property description: Lot 6 on RP98584  
Lot 7 on RP98584  
Lot 8 on RP98584

### Decision

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I wish to advise that, on 18 March 2021, the above development application was **approved in full** subject to conditions by Council. (Refer to the conditions contained in Attachment 1)

### Details of the approval

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This application is not taken to have been approved (a deemed approval) under section 64(5) of the *Planning Act 2016*.

The following approvals are given:

	<b>Planning Regulation 2017 reference</b>	<b>Development Permit</b>	<b>Preliminary Approval</b>
Development assessable under the planning scheme, superseded planning scheme, a temporary local planning instrument, a master plan or a preliminary approval which includes a variation approval - material change of use	N/A	<input checked="" type="checkbox"/>	

### Further development permits

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Please be advised that the following development permits are required to be obtained before the development can be carried out:

- Development Permit – Building Work

### Properly made submissions

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Not Applicable – No part of the application required public notification.

### Referral agencies for the application

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Not Applicable – No part of the application required referral.

### Approved plans, specifications and drawings

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Copies of the following approved plans, specifications and/or drawings are enclosed.



Plan/Document Number	Plan/Document Name	Date
19-1107 A.000	Proposed Site Locality Plan	23/12/20
19-1107 A.010	Existing/Demolition Site Plan	23/12/20
19-1107 A.011	Proposed Site Plan	23/12/20
19-1107 A.100	Proposed Floor Plan	23/12/20
19-1107 A.200	Proposed Elevations	23/12/20
19-1107 A.201	Proposed Elevations	23/12/20
19-1107 A.210	Tilt Panel Elevations	23/12/20
19-1107 A.211	Tilt Panel Elevations	23/12/20
19-1107 A.300	Proposed Sections	23/12/20
19-1107 A.250	Proposed Streetscape Elevation	23/12/20
19-1107 A.900	Perspectives	23/12/20
19-1107 A.901	Perspectives	23/12/20
2006-01 C	Landscape Plan	January 2021
2006-02 C	Proposed Plants & Elevations	January 2021
S1920193 – C01	Schematic Design Site Civil Works Layout – Notes and Details	—
S1920193 – C02	Schematic Design Site Civil Works Layout – Sheet 1 of 2	—
S1920193 – C03	Schematic Design Site Civil Works Layout – Sheet 2 of 2	—
S1920193 – C04	Schematic Design Stormwater Drainage Layout – Sheet 1 of 2	—
S1920193 – C05	Schematic Design Stormwater Drainage Layout – Sheet 2 of 2	—
S1920193 – H01	Schematic Design Hydraulic Services Layout – Site Plan, Notes and Details	—
S1920193 – H02	Schematic Design Hydraulic Services Layout – Sanitary Drainage	—
S1920193 – H03	Schematic Design Hydraulic Services Layout – Water Reticulation	—
S1920193 – H04	Schematic Design Roof Drainage Layout	—
S1920193 – S01	Schematic Design Structural Notes Sheet	—
S1920193 – S02	Schematic Design Footing and Floor Slab Layout	—
S1920193 – S03	Schematic Design Roof Framing Layout	—

#### Currency period for the approval (s.85 of the Planning Act)

For Material Change of Use - This approval lapses if the first change of use does not happen within 6 years after the approval starts to have effect.

## Appeal Rights

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The rights of an applicant to appeal to a tribunal or the Planning and Environment Court against a decision about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For certain applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

### Appeal by an applicant

An applicant for a development application may appeal to the Planning and Environment Court against the following:

- the refusal of all or part of the development application
- a provision of the development approval
- the decision to give a preliminary approval when a development permit was applied for
- a deemed refusal of the development application.

An applicant may also have a right to appeal to the Development tribunal. For more information, see schedule 1 of the *Planning Act 2016*.

### Appeal by an eligible submitter

An eligible submitter for a development application may appeal to the Planning and Environment Court against the decision to approve the application, to the extent the decision relates to:

- any part of the development application that required impact assessment
- a variation request.

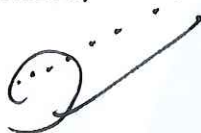
The timeframes for starting an appeal in the Planning and Environment Court are set out in section 229 of the *Planning Act 2016*.

**Attachment 2** is an extract from the *Planning Act 2016* that sets out the applicant's appeal rights and the appeal rights of a submitter.

To stay informed about any appeal proceedings which may relate to this decision visit: <https://planning.dsdmip.qld.gov.au/planning/our-planning-system/dispute-resolution/pe-court-database>.

For further information please contact Fiona Macleod, Planning and Development Officer on 07 4620 8842 or via email [Fiona.macleod@balonne.qld.gov.au](mailto:Fiona.macleod@balonne.qld.gov.au) who will be pleased to assist.

Yours sincerely



Matthew Magin  
**Chief Executive Officer**

**Enc:** Attachment 1—Assessment Manager Conditions of Approval (Balonne Shire Council)  
Attachment 2—Appeal provisions  
Attachment 3—Statement of Reasons  
Attachment 4—Approved plans and specifications



## ATTACHMENT 1 – ASSESSMENT MANAGER CONDITIONS OF APPROVAL (BALONNE SHIRE COUNCIL)

### Preamble

- i. The relevant planning scheme for this development is *Balonne Shire Planning Scheme 2019*. All references to the 'Planning Scheme' and 'Planning Scheme Schedules' within these conditions refer to the above Planning Scheme.
- ii. Under the Balonne Shire Planning Scheme 2019 a “**Community Use**” means *premises used for providing artistic, social or cultural facilities and community support services to the public and may include the ancillary preparation and provision of food and drink.*
- iii. The *Environmental Protection Act 1994* states that a person must not carry out any activity that causes, or is likely to cause, environmental harm unless the person takes all reasonable and practicable measures to prevent or minimise the harm. Environmental harm includes environmental nuisance. In this regard, persons and entities involved in the operation of the approved development are to adhere to their 'general environmental duty' to minimise the risk of causing environmental harm to adjoining premises.
- iv. All Aboriginal Cultural Heritage in Queensland is protected under the *Aboriginal Cultural Heritage Act 2003* and penalty provisions apply for any unauthorised harm. Under the legislation a person carrying out an activity must take all reasonable and practicable measures to ensure the activity does not harm Aboriginal Cultural Heritage. This applies whether or not such places are recorded in an official register and whether or not they are located in, on or under private land. The developer is responsible for implementing reasonable and practical measures to ensure the Cultural Heritage Duty of Care Guidelines are met and for obtaining any clearances required from the responsible entity.
- v. It is the responsibility of the developer to obtain all necessary permits and submit all necessary plans and policies to the relevant authorities for the approved use.
- vi. An operational works application will be required to be submitted to and approved by Council where there would be a change 1m or more in the level of any part of the land or where any drainage path is affected; or for urban purposes that involve disturbing more than 2,500m<sup>2</sup> of land.
- vii. In completing an assessment of the proposed development, Council has relied on the information submitted in support of the development application as true and correct. Any change to the approved plans and documents may require a new or changed development approval. It is recommended to contact Council for advice in the event of any potential change in circumstances.

### Use

1. The approved development is a Material Change of Use - “Community Use” as defined in the Planning Scheme and as shown on the approved plans.
2. A development permit for building and plumbing works must be obtained prior to commencing construction of the community use.



3. The approved development is to be carried out generally in accordance with the following approved plans/documents and subject to approval conditions. Where there is any conflict between the approval conditions and the details shown on the approved plans, the approval conditions prevail.

Plan/Document Number	Plan/Document Name	Date
19-1107 A.000	Proposed Site Locality Plan	23/12/20
19-1107 A.010	Existing/Demolition Site Plan	23/12/20
19-1107 A.011	Proposed Site Plan	23/12/20
19-1107 A.100	Proposed Floor Plan	23/12/20
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19-1107 A.201	Proposed Elevations	23/12/20
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S1920193 – S02	Schematic Design Footing and Floor Slab Layout	—
S1920193 – S03	Schematic Design Roof Framing Layout	—

4. During the course of constructing the works, the developer shall ensure that all works are carried out by appropriately qualified persons and the developer and the persons carrying out and supervising the work shall be responsible for all aspects of the works, including public and worker safety, and shall ensure adequate barricades, signage and other warning devices are in place at all times.



### Compliance inspection

5. All conditions relating to the establishment of the approved development must be fulfilled prior to the approved use commencing, unless otherwise noted in these conditions.
6. Prior to the commencement of the use, the applicant shall contact Council to arrange a development compliance inspection.

### Applicable Standards

7. All works must comply with:
  - a. the development approval conditions;
  - b. any relevant provisions in the Planning Scheme;
  - c. Balonne Shire Council Private Property Entrance Policy 2010;
  - d. any relevant Australian Standard that applies to that type of work; and
  - e. any alternative specifications that Council has agreed to in writing and which the developer must ensure do not conflict with any requirements imposed by any applicable laws and standards.

### Development works

8. The developer shall ensure that all approved works are carried out by appropriately qualified persons and the developer and the persons carrying out and supervising the work shall be responsible for all aspects of the works, including public and worker safety, and shall ensure adequate barricades, signage and other warning devices are in place at all times.
9. The developer is responsible for locating and protecting any Council and public utility services, infrastructure and assets that may be impacted on during construction of the development. Any damage to existing infrastructure (kerb, road pavement, existing underground assets, etc.) that is attributable to the progress of works on the site or vehicles associated with the development of the site shall be immediately rectified in accordance with the asset owners' requirements and specifications and to the satisfaction of the asset owners' representative(s).

### Amalgamation of Lots

10. The lots comprising the development site (Lot: 6 RP98584, Lot 7: RP98584 and Lot 8: RP98584) must be amalgamated prior to the commencement of the use.

### Waste Management

11. All waste generated from construction of the premises must be effectively controlled on-site before disposal. All waste must be disposed of in accordance with the *Environmental Protection (Waste Management) Regulation 2000*.
12. All waste generated on-site must be managed in accordance with the waste management hierarchy as detailed in the *Waste Reduction & Recycling Act 2011*.

### Stormwater Drainage

13. Stormwater drainage is to be provided in accordance with:
  - a. Queensland urban drainage manual, 3rd Edition, Queensland Department of Energy and Water Supply, 2013;
  - b. Pilgrim, DH, (ed)., Australian Rainfall & Runoff – A Guide to Flood Estimation, Institution of Engineers, Australia, Barton, ACT, 1987; and
  - c. Class 1 and Class 10 buildings – National Construction Code, Volume 2.

### Earthworks and Construction

14. During construction, erosion controls and silt collection measures are to be put in place to protect environmental values and mitigate potential impacts to adjoining properties and roadway/s.

### Avoiding Nuisance

15. No nuisance is to be caused to adjoining properties and occupiers by the way of noise smoke, dust, rubbish, contaminant, stormwater discharge or siltation at any time during or after the establishment of the approved development.
16. Dust emanating as result of activities carried out onsite must be continually monitored and suppressed in order to prevent any dust drifting onto road networks and nearby properties and sensitive land uses.
17. Lighting of the site, including any security lighting, shall be such that the lighting intensity does not exceed 8.0 lux at a distance of 1.5 metres from the site at any property boundary.
18. All lighting shall be directed or shielded so as to ensure that no glare directly affects nearby properties.
19. The area and its surrounds shall be kept in an orderly fashion, free of rubbish and clear of weeds and long grasses. The approved development and the premises are to be maintained in a clean and tidy condition and not to pose any health and safety risks to the community.
20. Noise emissions from the development shall not cause environmental harm of nuisance to adjoining properties or "Sensitive Land Uses" in accordance with the *Environmental Protection (Noise) Policy 2008*.
21. Air emissions from the development shall not cause environmental harm of nuisance to adjoining properties or "Sensitive Land Uses" in accordance with the *Environmental Protection (Air) Policy 2008*.
22. Unless otherwise approved in writing by the Council, approved hours of construction are restricted to Monday – Saturday 6.30am to 6.30pm – noise permitted. Work or business which causes audible noise must not be conducted from or on the subject land outside the above times or on Sundays or Public Holidays.



## Provision of Services

23. The development must be connected to Council's reticulated water supply network in accordance with the applicable standards and policies.
24. The development must be connected to Council's reticulated sewerage supply network the applicable standards and policies.
25. Proposed buildings located over or near the existing sewer main within the property must be constructed in accordance with '*Queensland Development MP1.4 – Building Over or Near Relevant Infrastructure*'.
26. The development must be connected to an electricity reticulation service in accordance with the relevant service provider's requirements and specifications along with relevant building standards, requirements and specifications (as relevant).
27. If the premises is connected to a telecommunications service, then such works shall be undertaken in accordance with the relevant service provider's requirements and specifications along with relevant building standards, requirements and specifications (as relevant).

## Access

28. The landowner shall be responsible for construction and maintenance of vehicle crossovers from the road carriageway to the property boundary. Should any damage be caused at the approved access location, it is the landowner's responsibility to ensure this is reinstated. Any repair works are to be undertaken in consultation with Council and at the landowner's expense.
29. The existing vehicle access points to the development from Beardmore Place shall be upgraded to a concrete standard. The developer will be responsible for the access to be maintained generally in accordance with *Balonne Shire Council's Private Property Entrance Policy* dated 15 January 2010. The design of the vehicle crossovers must cater for the maximum vehicle size accessing the site ensuring no damage to the kerb and channel and roadway.
30. Vehicles entering and exiting the development site must be able to enter and leave in forward direction. Reversing out of the development site is not permitted. Vehicle manoeuvres in this regard are to be totally contained within the development site boundaries.
31. Vehicle movements within the site are to be clear of proposed parking areas, buildings. Vehicle access, parking and manoeuvring areas are to be clearly delineated from pedestrian access ways within the site through the use of line marking, signage, bollards or similar.

## Car Parking

32. Car parking and manoeuvring areas are designed in accordance with:
  - a. AS2890.1 – Parking Facilities
  - b. Austroads AP-34/95 - Design Vehicles and Turning Path Templates
  - c. The Access to Premises Standard' (Vol 1 of the National Construction Code).
33. A minimum of six (6) car parking spaces, including one (1) car parking space for persons with

disabilities, are to be provided within the development site area generally in accordance with the approved development plans. Car parking areas must be clearly delineated and/or signposted.

#### **No Cost to Council**

34. The developer is responsible for meeting all costs associated with the approved development unless there is specific agreement by other parties, including the Council, to meeting those costs. This includes the costs of any services and infrastructure required in connection with the establishment of the development.

#### **Latest versions**

35. Where another condition refers to a specific published standard, manual or guideline, including specifications, drawings, provisions and criteria within those documents, that condition shall be deemed as referring to the latest versions of those publications that are publicly available at the commencement of the development works, unless a regulation or law requires otherwise.

#### **Application Documentation**

36. It is the developer's responsibility to ensure that all entities associated with this Development Approval have a legible copy of the Decision Notice, Approved Plans and Approved Documents bearing 'Council Approval'.



## ATTACHMENT 2 – PLANNING ACT EXTRACT APPEAL RIGHTS

### Chapter 6 Dispute resolution Part 1 Appeal rights

#### 228 Appeals to tribunal or P&E Court

(1) Schedule 1 states—

- (a) matters that may be appealed to—
  - (i) either a tribunal or the P&E Court; or
  - (ii) only a tribunal; or
  - (iii) only the P&E Court; and
- (b) the person—
  - (i) who may appeal a matter (the **appellant**); and
  - (ii) who is a respondent in an appeal of the matter; and
  - (iii) who is a co-respondent in an appeal of the matter; and
  - (iv) who may elect to be a co-respondent in an appeal of the matter.

(2) An appellant may start an appeal within the appeal period.

(3) The **appeal period** is—

- (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
- (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
- (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
- (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
- (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
- (f) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

Note—

See the P&E Court Act for the court's power to extend the appeal period.

(4) Each respondent and co-respondent for an appeal may be heard in the appeal.

(5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.

- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
- (a) the adopted charge itself; or
  - (b) for a decision about an offset or refund—
    - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
    - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

### 229 Notice of appeal

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
- (a) is in the approved form; and
  - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar must, within the service period, give a copy of the notice of appeal to—
- (a) the respondent for the appeal; and
  - (b) each co-respondent for the appeal; and
  - (c) for an appeal about a development application under
  - (d) schedule 1, table 1, item 1—each principal submitter for
  - (e) the development application; and
  - (f) for an appeal about a change application under
  - (g) schedule 1, table 1, item 2—each principal submitter for
  - (h) the change application; and
  - (i) each person who may elect to become a co-respondent
  - (j) for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
  - (k) for an appeal to the P&E Court—the chief executive; and
  - (l) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The **service period** is—
- (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
  - (b) otherwise—10 business days after the appeal is started.



- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.

### 230 Other appeals

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The Judicial Review Act 1991, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the Judicial Review Act 1991 in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—  
**decision** includes—
- (a) conduct engaged in for the purpose of making a decision; and
  - (b) other conduct that relates to the making of a decision; and
  - (c) the making of a decision or the failure to make a decision; and
  - (d) a purported decision; and
  - (e) a deemed refusal.

**non-appealable**, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the Judicial Review Act 1991 or otherwise, whether by the Supreme Court, another court, a tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, a tribunal or another entity on any ground.

### 231 Rules of the P&E Court

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.

## ATTACHMENT 3 — STATEMENT OF REASONS

The following information is provided in accordance with section 63 of the *Planning Act 2016*.

Description of Development	Material Change of Use – “Community Use”
<b>Assessment benchmarks</b>	<p>The proposed development was assessed against the following Assessment benchmarks:</p> <ul style="list-style-type: none"> <li>• Maranoa-Balonne Regional Plan;</li> <li>• <i>Darling Downs Regional Plan</i>;</li> <li>• <i>State Planning Policy</i>; and</li> <li>• <i>Balonne Shire Planning Scheme 2019</i> <ul style="list-style-type: none"> <li>• Part 4 Local Government Infrastructure Plan</li> <li>• Part 5 Tables of assessment</li> <li>• Part 6 Zones                             <ul style="list-style-type: none"> <li>▪ Part 6.2.1 Centre zone code</li> </ul> </li> </ul> </li> <li>• Part 7 Development Codes                             <ul style="list-style-type: none"> <li>▪ Part 7.3.1 General development code</li> </ul> </li> </ul>
<b>Relevant matters</b>	The relevant matters are the Assessment benchmarks.
<b>Matters raised in submissions</b>	Not Applicable.
<b>Reasons for decision</b>	The development was assessed against all of the Assessment benchmarks listed above and complies with all of these Assessment benchmarks or has otherwise been conditioned to achieve compliance.



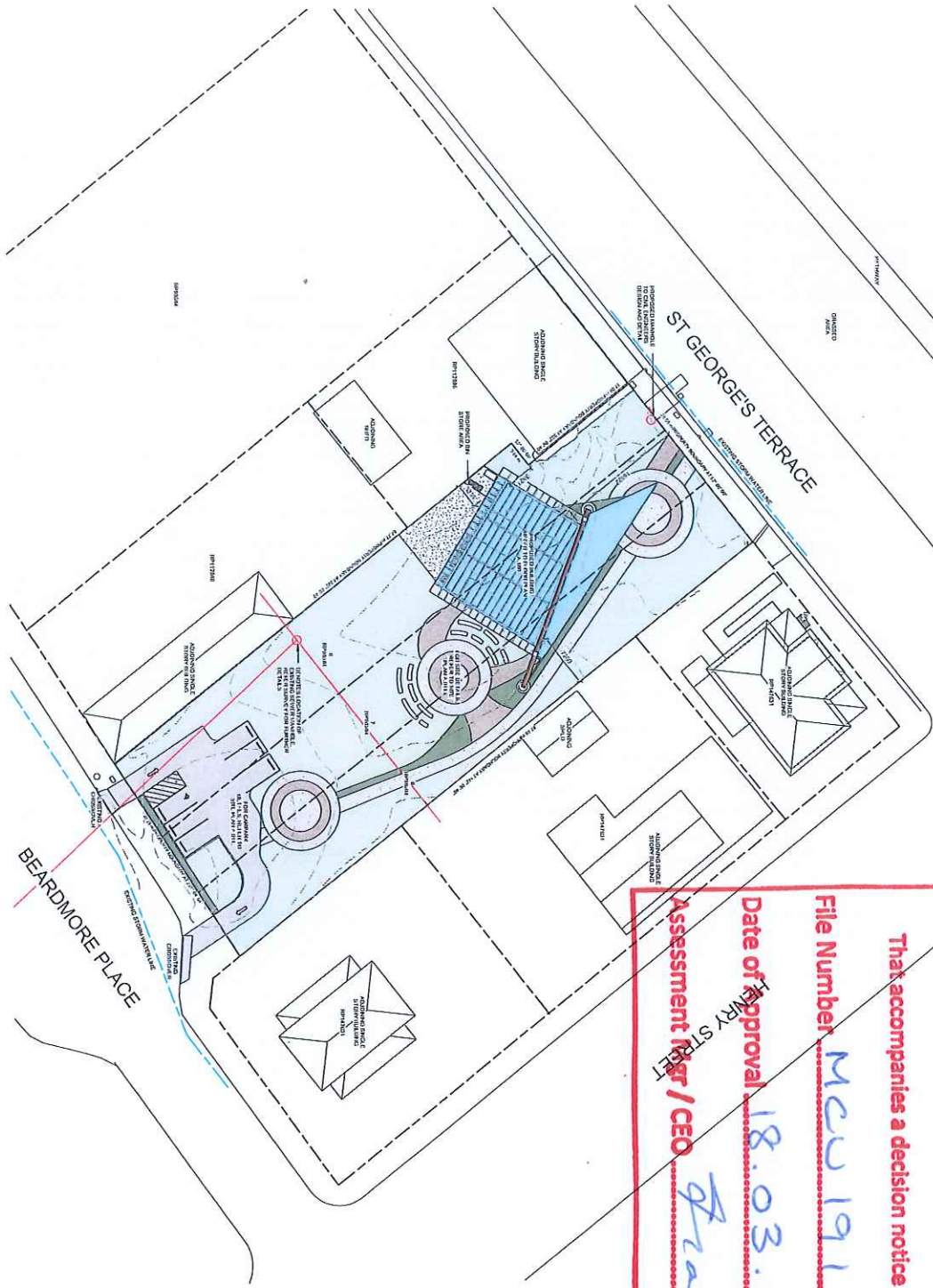
ATTACHMENT 4 — APPROVED PLANS AND SPECIFICATIONS



**BALONNE RIVER**

**PROPERTY DESCRIPTION**  
 Lot 672  
 R2, R3, R4 OF RE-AMAL (AMALTED)  
 Parish of St George  
 County of Bealson  
 Area - 2.86 Ha  
**SITE COVERAGE**  
 308.47m<sup>2</sup> - 14.53%

PROJECT SUMMARY	
PROJ. NO.	23-024
PROJ. NAME	1. EXHIBIT PLAN
PROJ. CLIENT	23-024
PROJ. LOCATION	1. BALONNE RIVER
PROJ. DATE	23/12/20
PROJ. DRAWN BY	1. BALONNE RIVER
PROJ. CHECKED BY	1. BALONNE RIVER
PROJ. APPROVED BY	1. BALONNE RIVER
PROJ. SCALE	1:1000
PROJ. SHEET NO.	1. BALONNE RIVER
PROJ. SHEET TOTAL	1. BALONNE RIVER



**BALONNE SHIRE COUNCIL**

**APPROVED PLANS / AMENDED PLANS**

That accompanies a decision notice under the SPA 2009

File Number MEU191

Date of Approval 18.03.21

Assessment by / CEO Praclead

① Proposed Site Locality Plan  
 1 : 300

NOT FOR CONSTRUCTION

SCHEMATIC DESIGN ISSUE

IMPORTANT: ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET: A.00

No	Date	Amendment
A	28/10/20	Client Feedback
B	18/12/20	95% SD Issue
C	23/12/20	100% SD Issue

Designer	TSS	Sheet Name	Proposed Site Locality Plan
Drawn by	CWA	Sheet Number	A.000
Checked by	KGM	Print Date	23/12/20
Client Signature		Scale	As Indicated
Project Number	19-1107		A1

**GENERAL NOTES**

1. THIS DRAWING IS A SCHEMATIC DESIGN ISSUE. IT IS NOT TO BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CLIENT TO VERIFY ALL DIMENSIONS ON SITE AND TO OBTAIN ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY AND OTHER RELEVANT AGENCIES. THE CLIENT IS ADVISED THAT ANY CHANGES TO THE DESIGN MUST BE APPROVED BY THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

2. THE CLIENT IS ADVISED THAT ANY CHANGES TO THE DESIGN MUST BE APPROVED BY THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

3. THE CLIENT IS ADVISED THAT ANY CHANGES TO THE DESIGN MUST BE APPROVED BY THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

**NOTE**

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**ASPECT**

ARCHITECTURE  
 PROJECT MANAGEMENT  
 CONSULTANTS

**TOPOCONOMIA**

Mines & Energy  
 St George - Harmony Centre  
 72 - 76 St Georges Terrace, St  
 George QLD 4487















**WALL LEGEND:**

- 1. EXTERIOR WALL - CONCRETE BLOCK
- 2. EXTERIOR WALL - BRICK
- 3. EXTERIOR WALL - CLAY PAVEMENT
- 4. EXTERIOR WALL - METAL SHEET
- 5. EXTERIOR WALL - CORRUGATED GALVANIZED IRON
- 6. EXTERIOR WALL - CORRUGATED ALUMINUM
- 7. EXTERIOR WALL - CORRUGATED STEEL
- 8. EXTERIOR WALL - CORRUGATED ZINC ALUMINUM
- 9. EXTERIOR WALL - CORRUGATED COPPER
- 10. EXTERIOR WALL - CORRUGATED BRASS
- 11. EXTERIOR WALL - CORRUGATED TITANIUM
- 12. EXTERIOR WALL - CORRUGATED INDIUM
- 13. EXTERIOR WALL - CORRUGATED BISMUTH
- 14. EXTERIOR WALL - CORRUGATED LEAD
- 15. EXTERIOR WALL - CORRUGATED POLYMER
- 16. EXTERIOR WALL - CORRUGATED COMPOSITE
- 17. EXTERIOR WALL - CORRUGATED CERAMIC
- 18. EXTERIOR WALL - CORRUGATED GLASS
- 19. EXTERIOR WALL - CORRUGATED PAPER
- 20. EXTERIOR WALL - CORRUGATED CARBON FIBRE
- 21. EXTERIOR WALL - CORRUGATED Kevlar
- 22. EXTERIOR WALL - CORRUGATED Fibreglass
- 23. EXTERIOR WALL - CORRUGATED Carbon Fiber
- 24. EXTERIOR WALL - CORRUGATED Kevlar
- 25. EXTERIOR WALL - CORRUGATED Fibreglass
- 26. EXTERIOR WALL - CORRUGATED Carbon Fiber
- 27. EXTERIOR WALL - CORRUGATED Kevlar
- 28. EXTERIOR WALL - CORRUGATED Fibreglass
- 29. EXTERIOR WALL - CORRUGATED Carbon Fiber
- 30. EXTERIOR WALL - CORRUGATED Kevlar
- 31. EXTERIOR WALL - CORRUGATED Fibreglass
- 32. EXTERIOR WALL - CORRUGATED Carbon Fiber
- 33. EXTERIOR WALL - CORRUGATED Kevlar
- 34. EXTERIOR WALL - CORRUGATED Fibreglass
- 35. EXTERIOR WALL - CORRUGATED Carbon Fiber
- 36. EXTERIOR WALL - CORRUGATED Kevlar
- 37. EXTERIOR WALL - CORRUGATED Fibreglass
- 38. EXTERIOR WALL - CORRUGATED Carbon Fiber
- 39. EXTERIOR WALL - CORRUGATED Kevlar
- 40. EXTERIOR WALL - CORRUGATED Fibreglass
- 41. EXTERIOR WALL - CORRUGATED Carbon Fiber
- 42. EXTERIOR WALL - CORRUGATED Kevlar
- 43. EXTERIOR WALL - CORRUGATED Fibreglass
- 44. EXTERIOR WALL - CORRUGATED Carbon Fiber
- 45. EXTERIOR WALL - CORRUGATED Kevlar
- 46. EXTERIOR WALL - CORRUGATED Fibreglass
- 47. EXTERIOR WALL - CORRUGATED Carbon Fiber
- 48. EXTERIOR WALL - CORRUGATED Kevlar
- 49. EXTERIOR WALL - CORRUGATED Fibreglass
- 50. EXTERIOR WALL - CORRUGATED Carbon Fiber

**LEGEND:**

Refer Figures & P&E Schedules for further details

**CODE DESCRIPTION**

1. EXTERIOR WALL - CONCRETE BLOCK

2. EXTERIOR WALL - BRICK

3. EXTERIOR WALL - CLAY PAVEMENT

4. EXTERIOR WALL - METAL SHEET

5. EXTERIOR WALL - CORRUGATED GALVANIZED IRON

6. EXTERIOR WALL - CORRUGATED ALUMINUM

7. EXTERIOR WALL - CORRUGATED STEEL

8. EXTERIOR WALL - CORRUGATED ZINC ALUMINUM

9. EXTERIOR WALL - CORRUGATED COPPER

10. EXTERIOR WALL - CORRUGATED BRASS

11. EXTERIOR WALL - CORRUGATED TITANIUM

12. EXTERIOR WALL - CORRUGATED INDIUM

13. EXTERIOR WALL - CORRUGATED BISMUTH

14. EXTERIOR WALL - CORRUGATED LEAD

15. EXTERIOR WALL - CORRUGATED POLYMER

16. EXTERIOR WALL - CORRUGATED COMPOSITE

17. EXTERIOR WALL - CORRUGATED CERAMIC

18. EXTERIOR WALL - CORRUGATED GLASS

19. EXTERIOR WALL - CORRUGATED PAPER

20. EXTERIOR WALL - CORRUGATED CARBON FIBRE

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23. EXTERIOR WALL - CORRUGATED Carbon Fiber

24. EXTERIOR WALL - CORRUGATED Kevlar

25. EXTERIOR WALL - CORRUGATED Fibreglass

26. EXTERIOR WALL - CORRUGATED Carbon Fiber

27. EXTERIOR WALL - CORRUGATED Kevlar

28. EXTERIOR WALL - CORRUGATED Fibreglass

29. EXTERIOR WALL - CORRUGATED Carbon Fiber

30. EXTERIOR WALL - CORRUGATED Kevlar

31. EXTERIOR WALL - CORRUGATED Fibreglass

32. EXTERIOR WALL - CORRUGATED Carbon Fiber

33. EXTERIOR WALL - CORRUGATED Kevlar

34. EXTERIOR WALL - CORRUGATED Fibreglass

35. EXTERIOR WALL - CORRUGATED Carbon Fiber

36. EXTERIOR WALL - CORRUGATED Kevlar

37. EXTERIOR WALL - CORRUGATED Fibreglass

38. EXTERIOR WALL - CORRUGATED Carbon Fiber

39. EXTERIOR WALL - CORRUGATED Kevlar

40. EXTERIOR WALL - CORRUGATED Fibreglass

41. EXTERIOR WALL - CORRUGATED Carbon Fiber

42. EXTERIOR WALL - CORRUGATED Kevlar

43. EXTERIOR WALL - CORRUGATED Fibreglass

44. EXTERIOR WALL - CORRUGATED Carbon Fiber

45. EXTERIOR WALL - CORRUGATED Kevlar

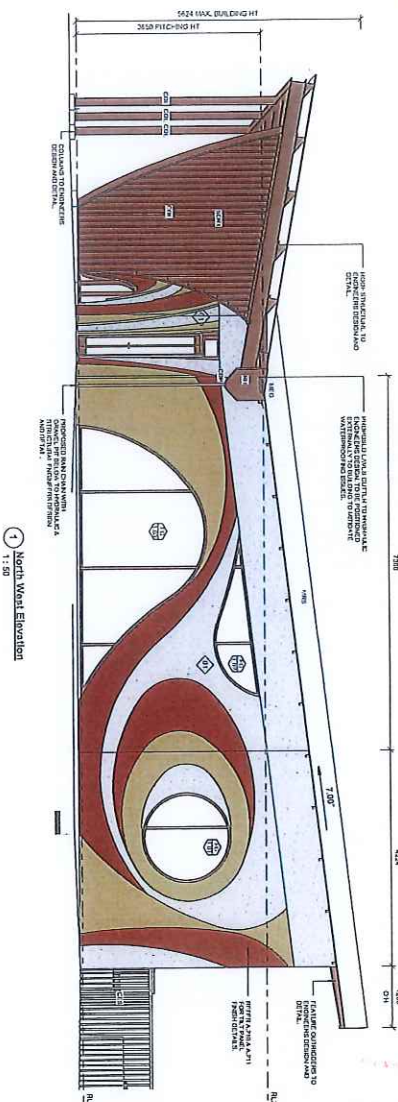
46. EXTERIOR WALL - CORRUGATED Fibreglass

47. EXTERIOR WALL - CORRUGATED Carbon Fiber

48. EXTERIOR WALL - CORRUGATED Kevlar

49. EXTERIOR WALL - CORRUGATED Fibreglass

50. EXTERIOR WALL - CORRUGATED Carbon Fiber



1 North West Elevation  
1:1.50

**BALONNE SHIRE COUNCIL**

**APPROVED PLANS / AMENDED PLANS**

**That accompanies a decision notice under the SPA 2009**

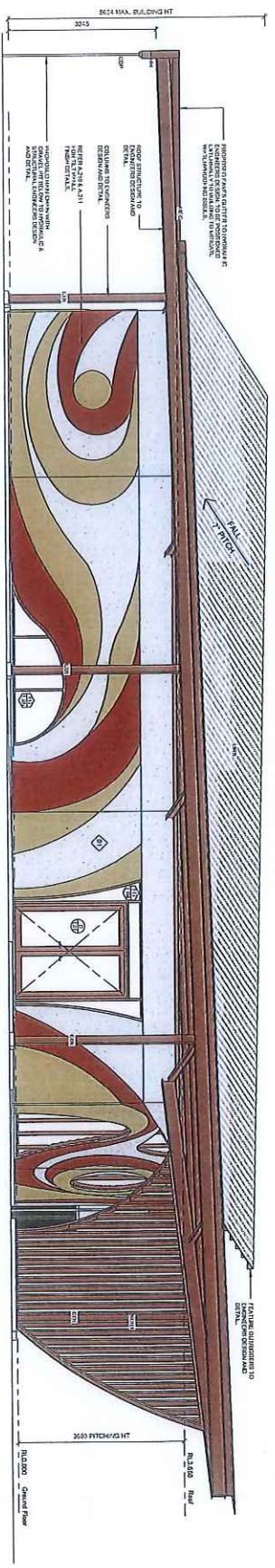
File Number **NCU 191**

Date of Approval **18/08/21**

Assessment by **CEO**

*[Signature]*

4 Section 1 Elevation  
1:1.50



2 North East Elevation  
1:1.50

No.	Date	Amendment
1	18/12/20	100% SD Issue
2	23/12/20	100% SD Issue

**GENERAL NOTES**

THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND STANDARDS. THE ARCHITECT HAS ADVISED THAT THE CLIENT HAS ACCEPTED THE GENERAL NOTES AND CONDITIONS OF CONTRACT AND IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE BUILDING.

**NOTES**

ALL DIMENSIONS TO BE IN ACCORDANCE WITH LOCAL REGULATIONS AND STANDARDS. THE ARCHITECT HAS ADVISED THAT THE CLIENT HAS ACCEPTED THE GENERAL NOTES AND CONDITIONS OF CONTRACT AND IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE BUILDING.

**ASPECT**

ARCHITECTURE  
PROJECT MANAGEMENT  
QUANTITY SURVEYING

Department of Natural Resources,  
Mines & Energy  
St George - Harmony Centre  
72 - 76 St Georges Terrace, St  
George QLD 4487

Designer	TSS
Drawn by	CWA
Checked by	KGM
Client Signature	
Project Number	19-1107
Sheet Name Proposed Elevations	
Sheet Number	A.200
Print Date	23/12/20
Scale	As Indicated
	A1

**NOT FOR CONSTRUCTION**

**SCHEMATIC DESIGN ISSUE**

**IMPORTANT: ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET: A.00**



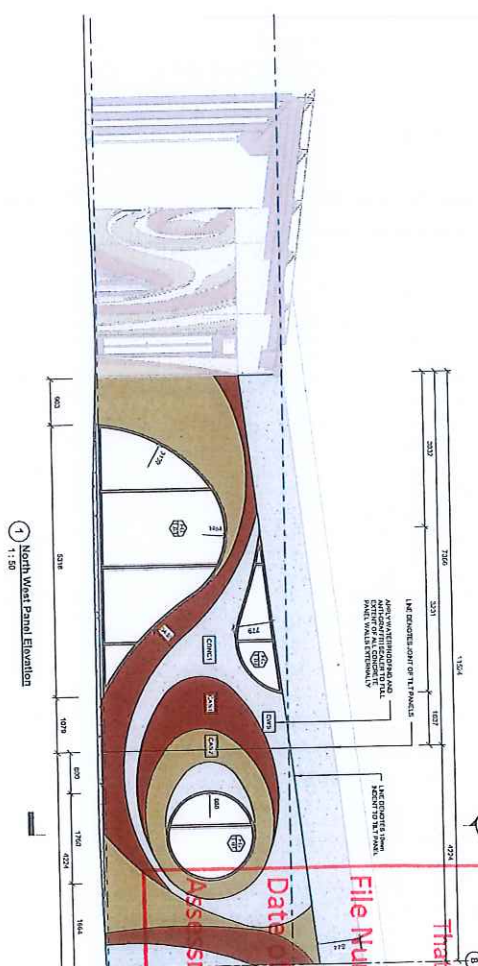


**TILT PANEL LEGEND:**

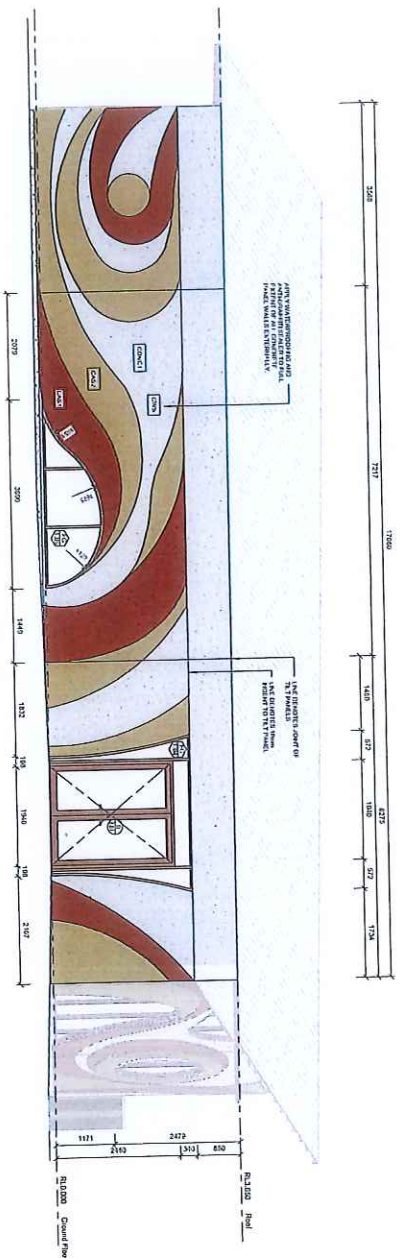
- CONC1 - 150mm TILT PANEL (BASE FINISH)
- CAS1 - 150mm TILT PANEL FORM COATED WITH POLYURETHANE LINING (BASE STONE FINISH) 1
- CAS2 - 150mm TILT PANEL FORM COATED WITH POLYURETHANE LINING (BASE STONE FINISH) 2

NOTE: REFER TO A469 FOR FURTHER DOOR, WINDOW & GLAZING DETAILS.

NOTE: CAD DRAWINGS, MATERIALS, SETOUT AND FINISHES ARE RESERVED TO SUCCESSFUL CONTRACTOR.



1 North West Panel Elevation  
1:50



2 North East Panel Elevation  
1:50

**BALONNE SHIRE COUNCIL**

**APPROVED PLANS / AMENDED PLANS**

That accompanies a decision notice under the SPA 2009

File Number Mr 191

Date of Approval 18.03.21

Assessment Mgr / CEO Shaeleed

NOT FOR CONSTRUCTION

**SCHEMATIC DESIGN ISSUE**

IMPORTANT: ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET A.00

Designer: TSS  
 Drawn by: CVA  
 Checked by: KGM  
 Client Signature: \_\_\_\_\_  
 Project Number: 19-1107

Sheet Name: Tilt Panel Elevations  
 Sheet Number: A.210  
 Pld Date: 23/12/20  
 Scale: As indicated  
 A1

No	Date	Amendment
A	18/12/20	85% SD Issue
B	23/12/20	100% SD Issue

**GENERAL NOTES:**

THE MAIN BUILDING WORK IS TO BE CONSTRUCTED WITH ALL WORK TO BE COMPLETED BY 15/03/2021. THE ARCHITECT'S OFFICE WILL BE AVAILABLE FOR CONSULTATION ON THE PROJECT FROM 09:00 AM TO 05:00 PM, MONDAY TO FRIDAY. THE COST OF MATERIALS IS TO BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BALONNE SHIRE COUNCIL. THE CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BALONNE SHIRE COUNCIL. THE CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BALONNE SHIRE COUNCIL.

**NOTE:**

FOR INFORMATION ONLY, THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S CONSENT. THE ARCHITECT'S OFFICE WILL BE AVAILABLE FOR CONSULTATION ON THE PROJECT FROM 09:00 AM TO 05:00 PM, MONDAY TO FRIDAY. THE COST OF MATERIALS IS TO BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR IS TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BALONNE SHIRE COUNCIL.

**ASPECT**  
 ARCHITECTURE  
 INTERIOR PROJECT MANAGEMENT  
 QUANTITY SURVEYING

Department of Natural Resources,  
 Mines & Energy  
 St George - Harmony Centre  
 72 - 76 St Georges Terrace, St  
 George QLD 4487

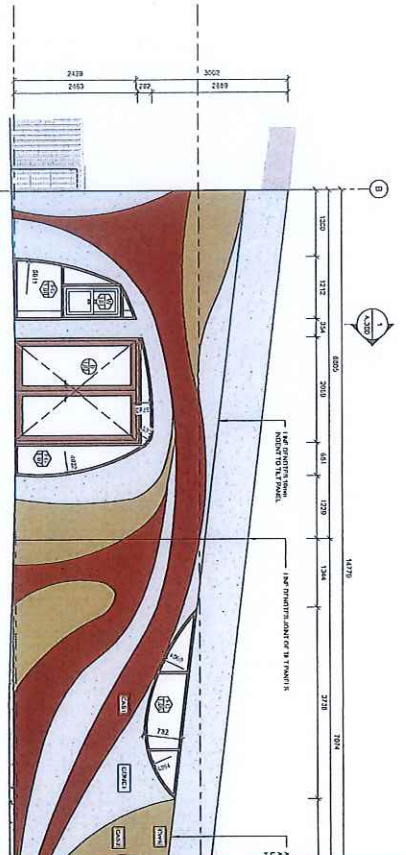
TOORONGARA  
 CONSULTANTS  
 P. (07) 46 529 882  
 www.aspect.com.au  
 A.B.N 880778848  
 B.S.K. 48/9



**TILT PANEL LEGEND:**

- CONCRETE - 150mm TILT PANEL (BASE FINISH)
- CAS1 - 150mm TILT PANEL FORM DETACHED WITH PERIMETER WITH ACID STAIN FINISH 1
- CAS2 - 150mm TILT PANEL FORM DETACHED WITH PERIMETER WITH ACID STAIN FINISH 2

NOTE: TO AVOID SEE OTHER DOOR, WINDOW & SCREEN DETAILS  
 SEE DRAWINGS WITH WALL SECTION DATA TO BE PROVIDED TO SUCCESSFUL CONTRACTOR.



**BALONNE SHIRE COUNCIL**

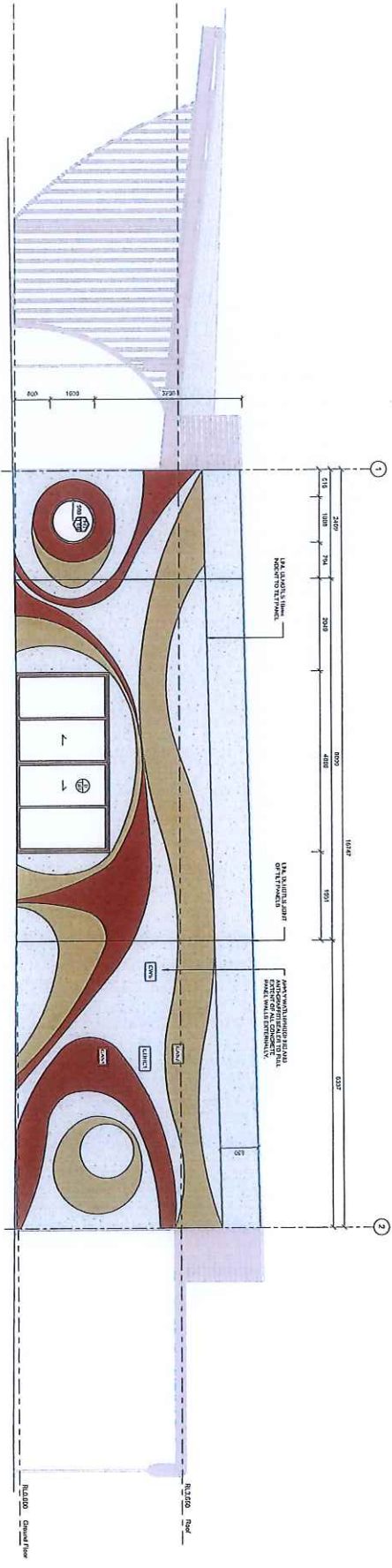
**APPROVED PLANS / AMENDED PLANS**

That accompanies a decision notice under the SPA 2009

File Number **MCU 191**

Date of Approval **18.03.21**

Assessment Mgr / CEO **Tracey Good**



**NOT FOR CONSTRUCTION**

**SCHEMATIC DESIGN ISSUE**

IMPORTANT: ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET: A.00

No	Date	Amendment	REVISIONS
A	18/12/20	95% SD Issue	REVISIONS TO BE ACCOMPANIED WITH ALL RELEVANT BUILDING CODES AND STANDARDS. NO REVISIONS TO BE MADE TO THE GENERAL NOTES UNLESS SPECIFICALLY NOTED. ALL REVISIONS MUST BE MADE IN CONJUNCTION WITH THE ARCHITECT'S OFFICE. ALL REVISIONS MUST BE MADE IN CONJUNCTION WITH THE ARCHITECT'S OFFICE.
B	23/12/20	100% SD Issue	REVISIONS TO BE ACCOMPANIED WITH ALL RELEVANT BUILDING CODES AND STANDARDS. NO REVISIONS TO BE MADE TO THE GENERAL NOTES UNLESS SPECIFICALLY NOTED. ALL REVISIONS MUST BE MADE IN CONJUNCTION WITH THE ARCHITECT'S OFFICE. ALL REVISIONS MUST BE MADE IN CONJUNCTION WITH THE ARCHITECT'S OFFICE.

DESIGNER	CLIENT
ASPECT ARCHITECTURE	Department of Natural Resources, Mines & Energy
PROJECT MANAGER/CLIENT	St George - Harmony Centre
QUANTITY SURVEYING	72 - 76 St Georges Terrace, St George QLD 4467

DESIGNER	TSS	SHEET NAME	Tilt Panel Elevations
DRAWN BY	CWA	SHEET NUMBER	A.211
CHECKED BY	KGM	PLAT DATE	23/12/20
CLIENT SIGNATURE		SCALE	As indicated
PROJECT NUMBER	19-1107		A1







# BALONNE SHIRE COUNCIL

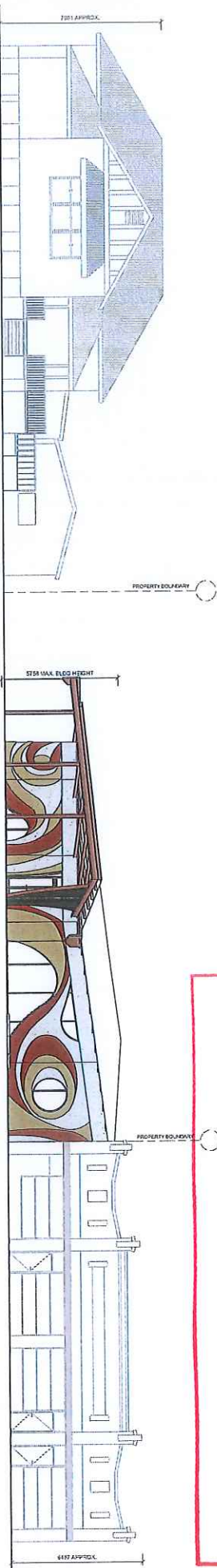
## APPROVED PLANS / AMENDED PLANS

That accompanies a decision notice under the SPA 2009

File Number MCO 191

Date of Approval 18.03.21

Assessment Mgr / CEO Shaun Lacey



1 St George Terrace Streetscape Elevation  
1:100

### SCHEMATIC DESIGN ISSUE

NOT FOR CONSTRUCTION

No	Date	Amendment	REVISIONS
A	18/12/20	95% SD Issue	THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH ALL RELEVANT NOTES.
B	23/12/20	100% SD Issue	AMENDMENTS SHALL BE MADE WITHOUT THE APPROVAL OF THE CLIENT. ANY CHANGES TO THE PLAN SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE COST OF AMENDING THESE DRAWINGS SHALL BE BORNE BY THE CLIENT. ANY WORK ON PROGRESSING THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CLIENT. ANY WORK ON PROGRESSING THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CLIENT. ANY WORK ON PROGRESSING THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CLIENT.

NOTE	ASPECT ARCHITECTURE
ALL DRAWINGS TO BE IN ACCORDANCE WITH LOCAL GOVERNMENT REGULATIONS AND STANDARDS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.	TOOWOOMBA BRISBANE P. (07) 46 529 952 M. (08) 9507 78956 BOAO 4487

Designer	TSS	Sheet Name	Proposed Streetscape Elevation
Drawn by	CWA	Sheet Number	A.250
Checked by	KGM	Plot Date	23/12/20
Client Signature		Scale	1:100 A1
Project Number	19-1107		

# BALONNE SHIRE COUNCIL

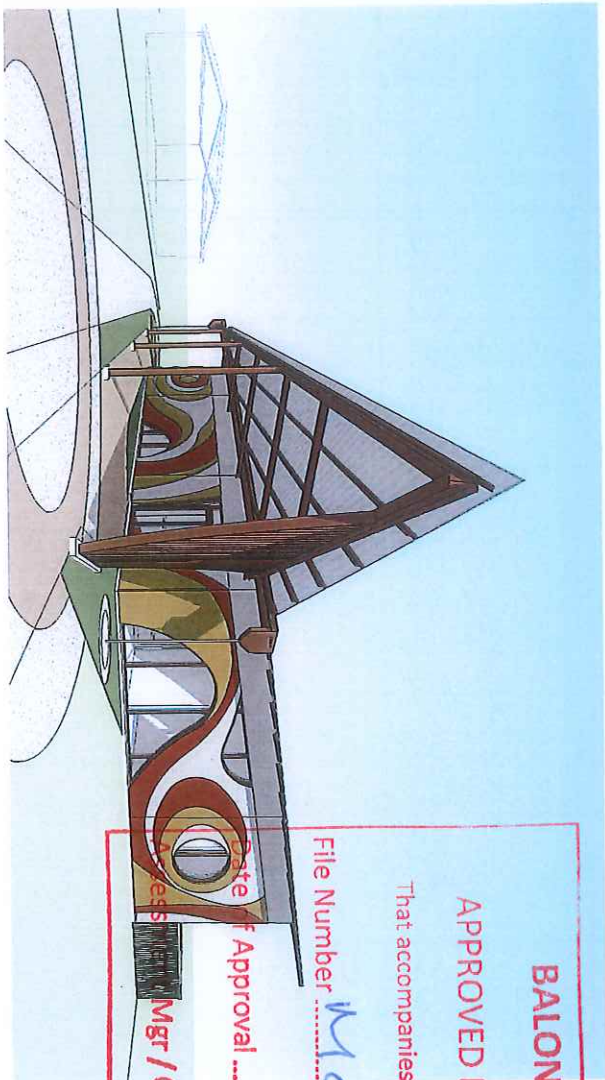
## APPROVED PLANS / AMENDED PLANS

That accompanies a decision notice under the SPA 2009

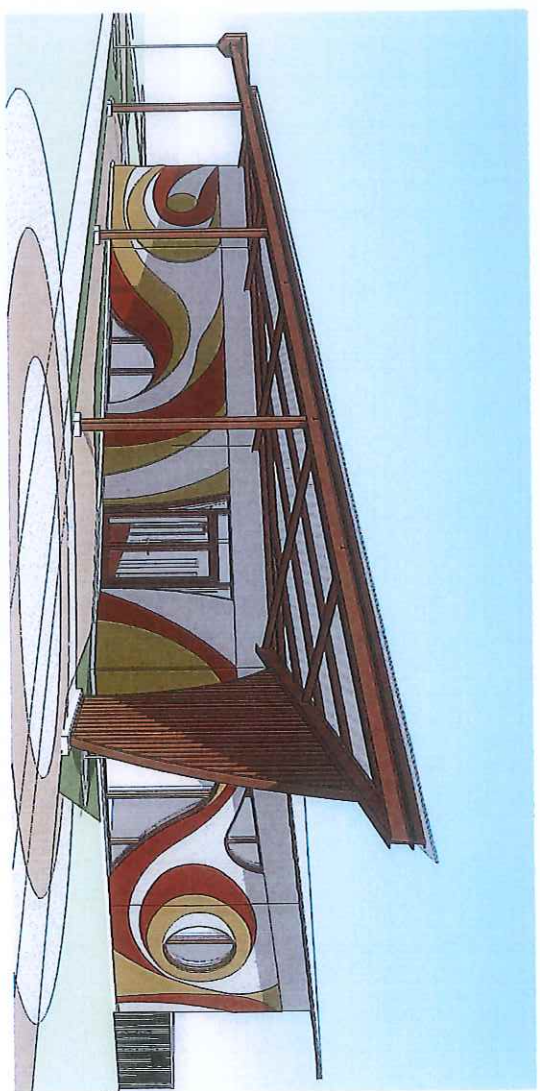
File Number MCC 191

Date of Approval 18.03.21

Mgr / CEO [Signature]



1 External 3D Perspective 1



2 External 3D Perspective 2

NOT FOR CONSTRUCTION

### SCHEMATIC DESIGN ISSUE

**IMPORTANT:** ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET: A.100

No	Date	Amendment
A	28/10/20	Client Feedback
B	18/12/20	55% S41 Issue
C	23/12/20	100% S41 Issue

**GENERAL NOTES**  
 THE PLANS ARE BEING PREPARED IN ACCORDANCE WITH ALL RELEVANT STANDARDS AND REGULATIONS. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL GOVERNMENT AND OTHER RELEVANT AGENCIES. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL GOVERNMENT AND OTHER RELEVANT AGENCIES. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL GOVERNMENT AND OTHER RELEVANT AGENCIES.

**NOTE**  
 ALL DRAWINGS TO BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AND STANDARDS. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL GOVERNMENT AND OTHER RELEVANT AGENCIES.



**ASPECT**  
 ARCHITECTURE  
 PROJECT MANAGEMENT  
 QUANTITY SURVEYING

Department of Natural Resources,  
 Mines & Energy  
 St George - Harmony Centre  
 72 - 76 St Georges Terrace, St  
 George QLD 4487

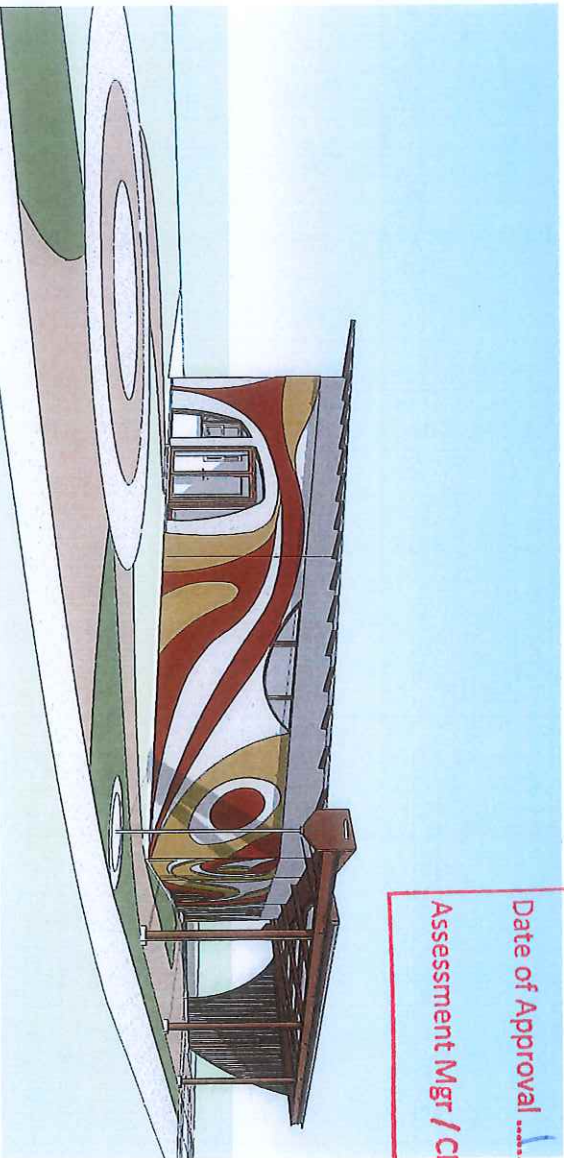
Designer	TSS
Drawn by	CWA
Checked by	KGM

Sheet Name	Sheet Number
External 3D Perspectives	A.900
Client Signature	23/12/20
Project Number	19-1107
Scale	A1





① External 3D Perspective 3



② External 3D Perspective 4

**MURCHISON SHIRE COUNCIL**  
**APPROVED PLANS / AMENDED PLANS**

That accompanies a decision notice under the SPA 2009

File Number WCU 1911

Date of Approval 18.03.21

Assessment Mgr / CEO Brookwood

**IMPORTANT:** ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH THE GENERAL NOTES ON SHEET: A00

**SCHEMATIC DESIGN ISSUE**

NOT FOR CONSTRUCTION

No	Date	Amendment
A	23/12/20	Client Feedback
B	19/12/20	95% SD Issue
C	22/12/20	100% SD Issue

**GENERAL NOTES**

THE MAIN USE OF THIS DRAWING IS TO COMMUNICATE WITH ALL PROJECT PARTICIPANTS AND TO PROVIDE A VISUAL REPRESENTATION OF THE PROPOSED DEVELOPMENT. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF ASPECT.

**NOTE**

ALL DRAWINGS TO BE IN ACCORDANCE WITH LOCAL GOVERNMENT REQUIREMENTS AND STANDARDS. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED TO THEM BY OTHERS.



**ASPECT**  
 ARCHITECTURE  
 INTERIORS  
 PROJECT MANAGEMENT  
 QUANTITY SURVEYING

TOOWOOMBA  
 BRISBANE  
 P. (07) 46 328 862  
 WWW.ASPECTINTERIORS.COM.AU  
 A/SL 1800 000 000  
 BOARD 4487

Department of Natural Resources,  
 Mines & Energy  
 St George - Harmony Centre  
 72 - 76 St Georges Terrace, St  
 George QLD 4487

Designer	TSS
Drawn by	CMA
Checked by	KGM
Client Signature	
Project Number	19-1-07

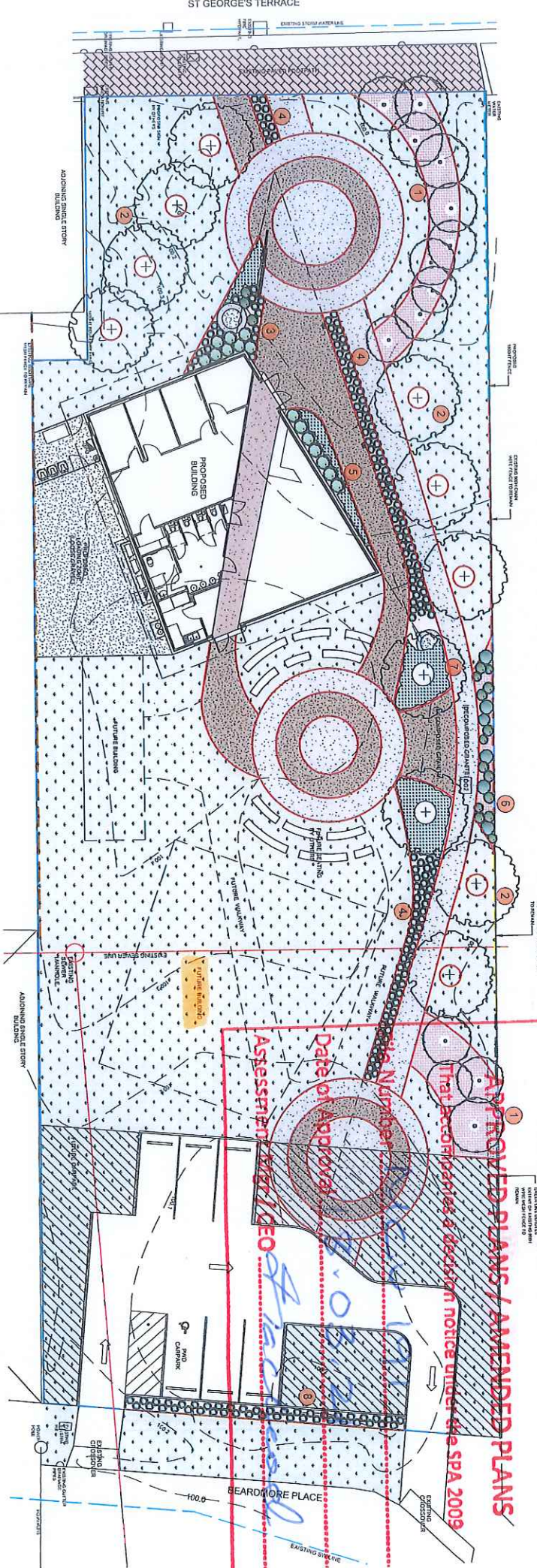
Sheet Name	Sheet Number
Scale	A.901
Plot Date	23/12/20
Scale	A1



**APPROVED PLANS / AMENDED PLANS**

That be recognised & decision notice under the SPA 2009

**APPROVED**  
Date of Approval: 24/12/20  
Assessment: 1/2/20



**LEGEND**

- site boundary
- grass/turf (not part of works, to be completed by client)
- option 1 - steel garden edge (not part of works. To be completed by client)
- option 2 - plastic garden edge (not part of works. To be completed by client)
- tree planting  
*Eucalyptus argopholia* (Chinchilla White gum)  
*Acacia harpophylla* (Brigalow)  
*Acacia aneura* (Mulga wattle)
- shrub planting
- groundcover planting
- gravel surround to trees/planting (not part of works. To be completed by client)
- water connection for irrigation (not part of works. To be completed by client)
- proposed GPO location for irrigation automatic controller
- Drip/line irrigation to be provided to all garden areas. Water to be piped via subsurface pipe between gardens & trees. Note: Irrigation works are not part of the works. These will be completed by the client)

- 1 groves of tree planting *Acacia harpophylla* (Brigalow)/ *Acacia aneura* (Mulga wattle) with gravel surrounds
- 2 shade tree planting with *Eucalyptus argopholia* (Chinchilla White gum)
- 3 mixed of low shrubs & groundcovers at front entry
- 4 mass planting with groundcover *Atriplex nummularia* (Saltbush)
- 5 mass planting of groundcovers to front facade *Eremophila 'Kalbarri Carpet'* & *Rhagodia spinescens*
- 6 clumps of shrub planting with gravel between to provide screen to adjacent property
- 7 shade tree planting with *Eucalyptus argopholia* (Chinchilla White gum) with groundcover *Eremophila 'Kalbarri Carpet'*
- 8 mass planting with groundcover *Atriplex nummularia* (Saltbush)

NOTE: Garden beds, gravel mulch, planting, turf and irrigation are not part of the works. These items will be completed by the client.

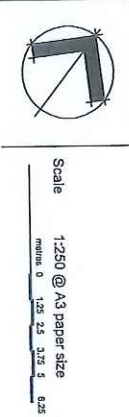
Area marked as "future building" does not form part of new 191-development approval

Use of ground dimensions is preferred to indicate. Please refer to the landscape schedule below regarding any additional ground dimensions. This drawing must not be relied upon for any purpose other than that for which it was prepared and is not to be used for any other purpose without the written consent of the author.

Item	Date	Detail	Initial
A	17/12/20	plan for client review	JA
B	17/12/20	plan for client review	JA
C	04/01/21	amended as per client request	JA

PROJECT	CLIENT
St George Harmony Centre 94 The Terrace St George Qld	St George Harmony Centre 94 The Terrace St George Qld

DRAWING	DRAWN	ISSUE
Schematic Design Landscape Plan DRAWING NO.	JA DATE	C January 2021



Jackie Amos Landscape Architect  
45 Skehan Street  
Centenary Heights Q 4350  
0427 867748  
jamostu@bjppond.net.au





PROPOSED TREES



*Acacia aneura*  
Mulga wattle (10m x 6m)



*Acacia harpophylla*  
Bigbalew (10m x 6m)



*Eucalyptus argophylla*  
Chinchilla white gum (12m x 6m)



*Apocynium anatum*  
Bloom bush (5m x 3m)



*Carpenteria mitchellii*  
Wild orange (3m x 3m)



*Carissa ovalis*  
Currant bush (4m x 3m)



*Citrus glauca*  
Lime bush (3m x 3m)



*Eriogonum parsonsii*  
Ellingwren poison bush (2m x 2m)

PROPOSED SHRUBS



*Atriplex nummularia*  
Saltbush



*Eriocaulon nutans*  
Climbing saltbush



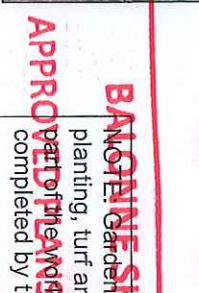
*Eriochloa lanata*  
Rudky Saltbush



*Eriochloa lanata*  
Rudky Saltbush



*Eriochloa lanata*  
Rudky Saltbush

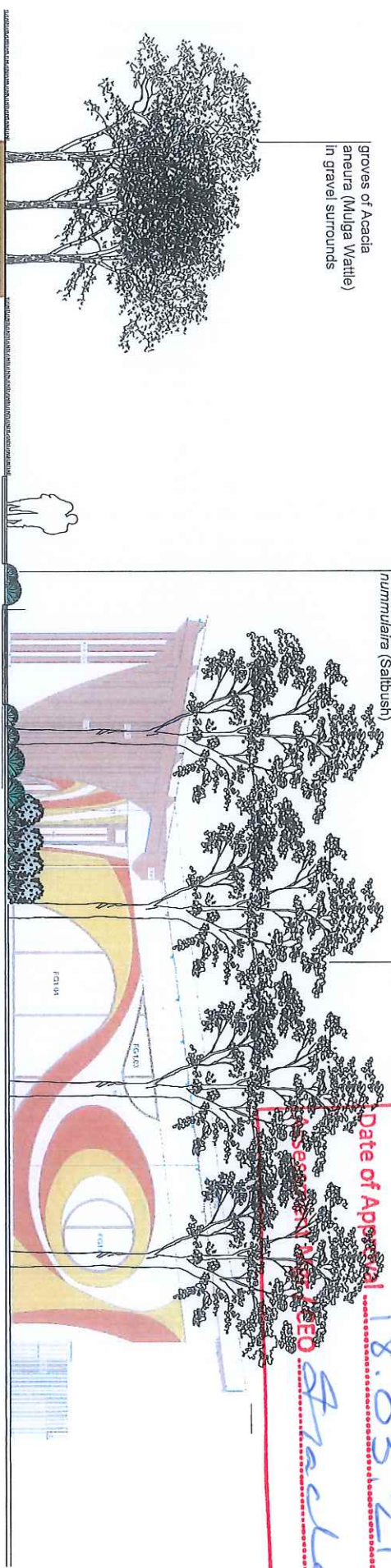


*Eriochloa lanata*  
Rudky Saltbush

groves of *Acacia aneura* (Mulga Wattle) in gravel surrounds

mass planting with groundcover *Atriplex nummularia* (Saltbush)

4 x *Eucalyptus argophylla* (Chinchilla White gum) as shade trees & visual feature to entry



NORTH WEST ELEVATION  
scale 1:100 @ A3

Use figure dimensions in preference to scale. Please refer to the Landscape Schedule below for details of the proposed planting. This drawing must not be relied upon for any purpose other than that of a guide to the proposed work. The client is responsible for obtaining all necessary approvals from the relevant authorities.

Issue	Date	Details	Initial
A	17/12/20	draft for client review	JA
B	17/12/20	draft for client review	JA
C	24/01/21	amended as per client aspect layout	JA

AMENDMENTS	PROJECT	DRAWING	DRAWN	ISSUE
	St George Harmony Centre 94 The Terrace, St George Q CLIENT	Schematic Design Proposed Plants & Elevation DRAWING NO. 2006-02	JA DATE January 2021	C

Scale
1:100 @ A3 paper size
metres 0 0.5 1 1.5 2 2.5

Jackie Amos Landscape Architect  
46 Skehan Street  
Centenary Heights Q 4350  
0427 697748  
jamosa@bigpond.net.au

**BANOFFIE SHIRE COUNCIL**  
Garden beds, gravel mulch, planting, turf and irrigation are not part of the works/ AMENDMENTS will be completed by the client.

**APPROVED**

That accompanies a decision notice under the SPA 2009

NEW 191

Date of Approval 18.03.21

JAMESON ARCHITECT

Stratford





**EROSION AND SEDIMENT CONTROL NOTES**

1. THE CONTRACTOR SHALL ENSURE THAT MUD AND SILT IS NOT TRACKED ONTO PUBLIC ROADS BY VEHICLES LEAVING THE SITE.
2. A REPRESENTATIVE OF THE CONTRACTOR SHALL BE ON SITE AT ALL TIMES DURING ANY CONSTRUCTION OPERATIONS AND SHALL MAINTAIN A REGISTER OF ALL EROSION AND SEDIMENT CONTROL AND CLEAN UP EXTERNAL ROADS CONTAMINATED BY CONSTRUCTION TRAFFIC.
3. INSPECTION OF THE SURROUNDING ROADWAY'S SHALL BE CARRIED OUT ON A DAILY BASIS AND A DIARY RECORDS KEPT WITH RESPECT TO ANY CLEANING WORKS UNDERTAKEN.
4. SUBCONTRACTORS SHALL NOT BE ALLOWED TO WORK.
5. DUST EMISSIONS FROM CONSTRUCTION MACHINERY SHALL BE CONTROLLED BY REGULAR WATERING OR ON AN AS-REQUIRED BASIS.
6. SILT STOP FENCES SHALL BE INSTALLED AT THE START OF WORK AND SHALL BE MAINTAINED FOR THE FULL DURATION OF THE PROJECT AND UNTIL ESTABLISHMENT OF ANY PLANTINGS.

**EARTHWORKS NOTES**

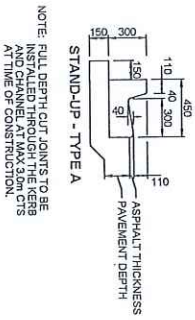
1. PRIOR TO THE COMMENCEMENT OF WORKS THE CONTRACTOR IS TO CONFIRM THE LOCATION OF ALL UNDERGROUND SERVICES AND SET OUT DIMENSIONS.
2. ALL WORKS SHALL BE IN ACCORDANCE WITH AS 2878 - CONCRETE AND EARTHWORKS FOR CONCRETE AND REINFORCED CONCRETE WORKS.
3. THE WHOLE OF THE SITE AREA AFFECTED BY EARTHWORKS IS TO BE STRIPPED OF SKIN FROM THE PRESENCE OF UNDISCOVERED AREAS AS DIRECTED ON SITE. THE REMAINING TOPSOIL SHALL BE REMOVED FROM SITE.
4. SECTIONS OF EXISTING CONCRETE SLAB TO BE REMOVED AND DISPOSED OF OFF SITE INCLUDING EXCESS MATERIAL, FENCING AND VEGETATION.
5. AFTER STRIPPING AND/OR CUTTING THE SITE, THE SUBGRADE IS TO BE PROOF RAE TO BE REMOVED. THESE TO BE REMOVED SHALL BE GRUBBED OUT AND BACKFILLED WITH APPROVED SELECTED MATERIAL.
6. THE BUILDING PLATFORM SHALL BE PREPARED BY CUTTING AND FILLING THE NATURAL MATERIAL TO THE SPECIFIED PLATFORM LEVEL AND TO THE EXTENDED DESIGN LEVELS. A MINIMUM OF FILL IN 5% OR ALTERNATIVELY APPROVED QUARRY SEALING MATERIAL OF MIN. SOAKED CURT. P1-15% AND MAX. AGGREGATE SIZE OF 75mm. SAMPLES WITH PROOF OF ADEQUATE STRENGTH TO BE SUBMITTED TO THE ENGINEER ON ARRIVAL ON SITE.
7. FILL SHALL BE PLACED IN MAXIMUM 150mm LAYERS AND COMPACTED TO 98% MOISTURE AND COMPACTED TO ASTM. COMPACTATION IS TO BE 9% OF OPTIMUM MOISTURE CONTENT. THE COMPLETED FILL PLATFORM SHALL BE PROOF ROLLED IN THE PRESENCE OF THE ENGINEER. THE FINAL TESTS IS TO BE OF UNIFORM COMPACTED THICKNESS. ADEQUATE SITE DRAINAGE IS TO BE MAINTAINED DURING CONSTRUCTION.
8. ISOLATED CONTAMINATION AREAS INDICATED TO BE EXCAVATED A MINIMUM 1m RADIUS TO A MINIMUM DEPTH OF 0.5m DEEP. SOIL SHOULD BE STOCKPILED ON HEAVY DUTY BLACK PLASTIC OR PLACED DIRECTLY IN TROU-GRAVE AND WORKS SHALL BE REMOVED FROM SITE AS REGULATED WASTE BY A LICENSED WASTE CONTRACTOR. CONTRACTOR TO UNDERTAKE VALIDATION SOIL SAMPLING AT BOTH DESIGNATION TO OPERATIONS FOR USE. REFER RANGE ENVIRONMENTAL CONSULTANTS REPORT (PROJECT No. J004006) FOR MORE DETAIL & ALL FIBRE CEMENT SHEETING FRAGMENTS ON GROUND SURFACE SHALL BE REMOVED BY A LICENSED ASBESTOS REMEDIALIST.
9. FIELD DENSITY TESTING OF THE FILL SHALL BE CARRIED OUT AND THE RESULTS ARE TO BE SUBMITTED TO THE ENGINEER FOR APPROVAL. TESTING SHALL BE NOT -4 TESTS AS DIRECTED EVENLY DISTRIBUTED THROUGHOUT THE DEPTH OF THE FILL PLATFORM.

**PAVEMENT NOTES**

1. REFER EARTHWORKS NOTES FOR PREPARATION TO SUBGRADE LEVEL.
2. SUBGRADE SHALL BE COMPACTED TO 98% STANDARD COMPACTION TO AS 2878 AND PROOF ROLLED TO BE REMOVED AS DETERMINED BY THE ENGINEER AND REINSPECTED UPON REINSTATEMENT.
3. FINISHED SUB-GRADE TO CARPARK AREA SHALL BE TESTED TO CONFIRM THE GR OF ENGINEER TO CONFIRM THE DEPTH OF PAVEMENT MATERIAL REQUIRED.
4. PAVEMENT MATERIAL SHALL BE MINIMUM AND SUBTYPE 2.3 MOODIFIED (CBRG) GRADING AND COMPACTED TO MAXIMUM 150mm LAYERS TO 100% STANDARD COMPACTION TO AS 2878. PROOF ROLLING AS SPECIFIED FOR SUBGRADE SHALL BE CONDUCTED SHALL BE AS DIRECTED BY THE ENGINEER. ACCEPTANCE AND ANY REVISIONS MUST BE IN ACCORDANCE WITH THE ENGINEER.
5. PAVEMENT SPECIFICATION:
  - 250mm ROADBASE PAVEMENT (EQUAL BASE & TOP COURSES)
6. PAVEMENT SPRAY SEAL - IF REQUIRED
  - 6.1. PRIME - CUTBACK CTRD BITUMEN AMCO (SPRAY RATE 0.7 TO 1.0 Lm<sup>2</sup>) TO BE LEFT 48 HOURS PRIOR TO
  - 6.2. AGGREGATE - CLASS 170 BITUMEN ESTIMATED SPRAY RATE 1.2 Lm<sup>2</sup> COVER AND COAT SEAL - CLASS 170 BITUMEN ESTIMATED SPRAY RATE 1.0 Lm<sup>2</sup> COVER AGGREGATE 7mm (PRE COATED) @ 1.1m<sup>2</sup>/50m<sup>2</sup>
7. PAVEMENT TESTING:
  - SUBGRADE: 1" IN 1000 DENSITY TEST PER 150m<sup>2</sup> PAVEMENT: 1" IN 1000 DENSITY TEST PER 150m<sup>2</sup>

**LINEMARKING NOTE:**

PROVIDE 100mm WIDE WHITE LINEMARKING TO CARPARK SPACE AND SHARED AREA SHALL BE LINEMARKED WITH 100mm WIDE YELLOW UNBROKEN LINES TO SIDES AND YELLOW DIAGONAL STRIPES, AND BOLLARD AS SPECIFIED. ALL IN ACCORDANCE WITH AS 1921.1 SHALL BE PAINTED WHITE ON A BLUE BACKGROUND IN ACCORDANCE WITH AS/NZS 1428.1



NOTE: FULL DEPTH CUT JOINTS TO BE INSTALLED THROUGH THE KERB AND COMPANED IN MAX STION. AT TIME OF CONSTRUCTION.

**BALONNE SHIRE COUNCIL**

**APPROVED PLANS / AMENDED PLANS**

That accompanies a decision notice under the SPA 2009

File Number Neu 191

Date of Approval 18.03.21

Assessment Mgr / CEO Tracey

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DATE: 23.12.20 03:40 PM

**PRELIMINARY**

NOT FOR CONSTRUCTION

ISSUE	DATE	DETAILS	INITIAL
P1	18.12.20	COORDINATION ISSUE	BJ
P2	21.12.20	100% SOI ISSUE	BJ

**ASPECT**

ARCHITECTURE  
AND INTERIOR  
PROJECT MANAGEMENT

**Kehoe Myers**

CONSULTING ENGINEERS

1000 WILSONS CREEK  
PH: +617 4258 8100

DESIGN	DATE	ORIGINAL SIZE	AT
DESIGN	2/2	A1	
DRAWN	2/2	A1	
CHECKED	2/2	A1	
APPROVED	2/2	A1	

PROJECT: ST GEORGE HARMONY CENTRE  
72-76 ST GEORGE'S TERRACE,  
ST GEORGE, QLD 4487

SCHEMATIC DESIGN  
SITE CIVIL WORKS LAYOUT  
- NOTES AND DETAILS

DESIGN	DATE	ORIGINAL SIZE	AT
DESIGN	2/2	A1	
DRAWN	2/2	A1	
CHECKED	2/2	A1	
APPROVED	2/2	A1	

PROJECT: ST GEORGE HARMONY CENTRE  
72-76 ST GEORGE'S TERRACE,  
ST GEORGE, QLD 4487

SCHEMATIC DESIGN  
SITE CIVIL WORKS LAYOUT  
- NOTES AND DETAILS

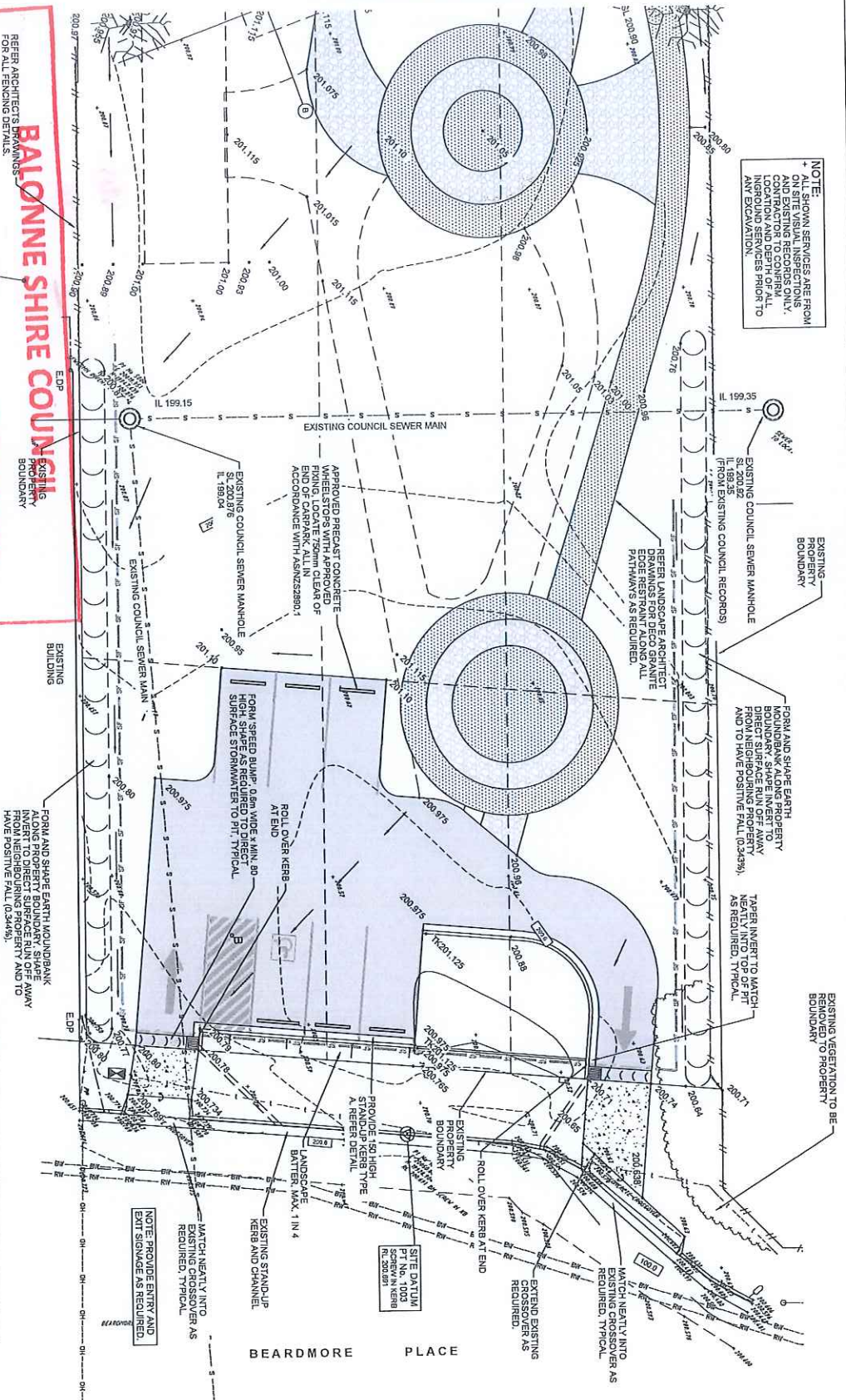






REFER TO DRAWING C02 FOR CONTINUATION

**NOTE:**  
 \* ALL EXISTING SERVICES ARE FROM ON SITE VISUAL INSPECTIONS AND EXISTING RECORDS ONLY. CONTRACTOR TO CONFIRM ALL EXISTING SERVICES PRIOR TO ANY EXCAVATION.



**BALONNIE SHIRE COUNCIL**  
 REFER ARCHITECTS DRAWINGS FOR ALL FINISHING DETAILS.

**APPROVED PLANS / AM SITE CIVIL WORK LAYOUT**

NOTE: EXISTING UNDERGROUND RAINWATER STORAGE TANK ON NEIGHBOURING PROPERTY TO BE INVESTIGATED AND CONFIRMED BY THE CLIENT. ALL WORKS TO BE COORDINATED WITH CLIENT, NEIGHBOURING PROPERTY AND BALONNIE SHIRE COUNCIL.

File Number **18.03.21**

Date of Approval **18.03.21**

Assessment Mgr / CEO **Prac Lead**

SCALE: 1:100 @ A1, 1:200 @ A3  
 \* REFER DRAWING S01 FOR CONCRETE NOTES.  
 \* REFER DRAWING S01 FOR CONCRETE NOTES.

**LEGEND**

	PROPOSED EXISTING SURFACE LEVELS
	PROPOSED FINISHED LEVELS
	FLOOR LEVEL
	PLATFORM LEVEL
	PROPOSED PAVEMENT AS SPECIFIED.
	100 THICK 5% CEMENT CONCRETE COMPACT AND LEVELS INDICATED SUBBASE TO BE NOTED. REFER ARCHITECTS DRAWINGS AND SPECIFICATIONS FOR COLOUR TYPE.
	100 THICK 1% CEMENT CONCRETE COMPACT AND LEVELS INDICATED SUBBASE TO BE NOTED. REFER ARCHITECTS DRAWINGS AND SPECIFICATIONS FOR COLOUR TYPE.
	150 THICK 1% CEMENT CONCRETE COMPACT AND LEVELS INDICATED SUBBASE TO BE NOTED. REFER ARCHITECTS DRAWINGS AND SPECIFICATIONS FOR COLOUR TYPE.
	175 THICK 1% CEMENT CONCRETE COMPACT AND LEVELS INDICATED SUBBASE TO BE NOTED. REFER ARCHITECTS DRAWINGS AND SPECIFICATIONS FOR COLOUR TYPE.
	150 THICK 1% CEMENT CONCRETE COMPACT AND LEVELS INDICATED SUBBASE TO BE NOTED. REFER ARCHITECTS DRAWINGS AND SPECIFICATIONS FOR COLOUR TYPE.

	175 THICK CONCRETE CROSSOVER OVER 50 MIN. COMPACTED BEDDING MATERIAL, N22 CONCRETE, 1 LAYER SL22 MESH, 30 N22 JOINTS AS REQUIRED.
	EXISTING TREE TO BE REMOVED. PROVIDE JOINTS AS REQUIRED.
	EXISTING MINOR DESIGN SURFACE CONTOURS (0.2M INTERVALS)
	900 HIGH CORNERED 18.5x40 DIMS HD GALV. BOLT AND 40mm DEEP MASS CONCRETE FOOTING.
	STOP SIGNMENT CONTROL FABRIC OR EROSION INSTALLATION TO BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

CLIENT	DEPARTMENT OF NATURAL RESOURCES, MINES & ENERGY
PROJECT	72-76 ST GEORGE'S TERRACE, ST GEORGE, QLD 4487
DRAWING TITLE	SCHEMATIC DESIGN SITE CIVIL WORKS LAYOUT - SHEET 2 OF 2
DESIGN	DATE
REVISED	DATE
APPROVED	DATE

**Keiho Myers**  
 ARCHITECTURE INTERIORS PROJECT MANAGEMENT  
 CONSULTING ENGINEERS  
 KONGERRE.COM.AU PH: 07 4623 1100

**ASPECT**  
 ARCHITECTURE INTERIORS PROJECT MANAGEMENT

**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 DATE 23.12.20 09:41 PM

0 1m 2m 3m 4m 5m  
 SCALE 1:100 @ A1  
 SCALE 1:200 @ A3

**CONTRACT**  
 Keiho Myers Consulting Engineers Pty Ltd. reserves the right to the design and construction of any part of the project if the client fails to pay the fees as specified in the contract. The client shall be responsible for obtaining all necessary permits and approvals. The client shall be responsible for providing all necessary information and data. The client shall be responsible for providing all necessary information and data. The client shall be responsible for providing all necessary information and data.

SCALE	DATE	DRAWING ISSUE	INITIAL
P1	14.12.20	COORDINATION ISSUE	BJ
P2	23.12.20	100% SD ISSUE	BJ

DATE: 23.12.20  
 PSM: 78/704  
 RL: 200.635 (AHD)

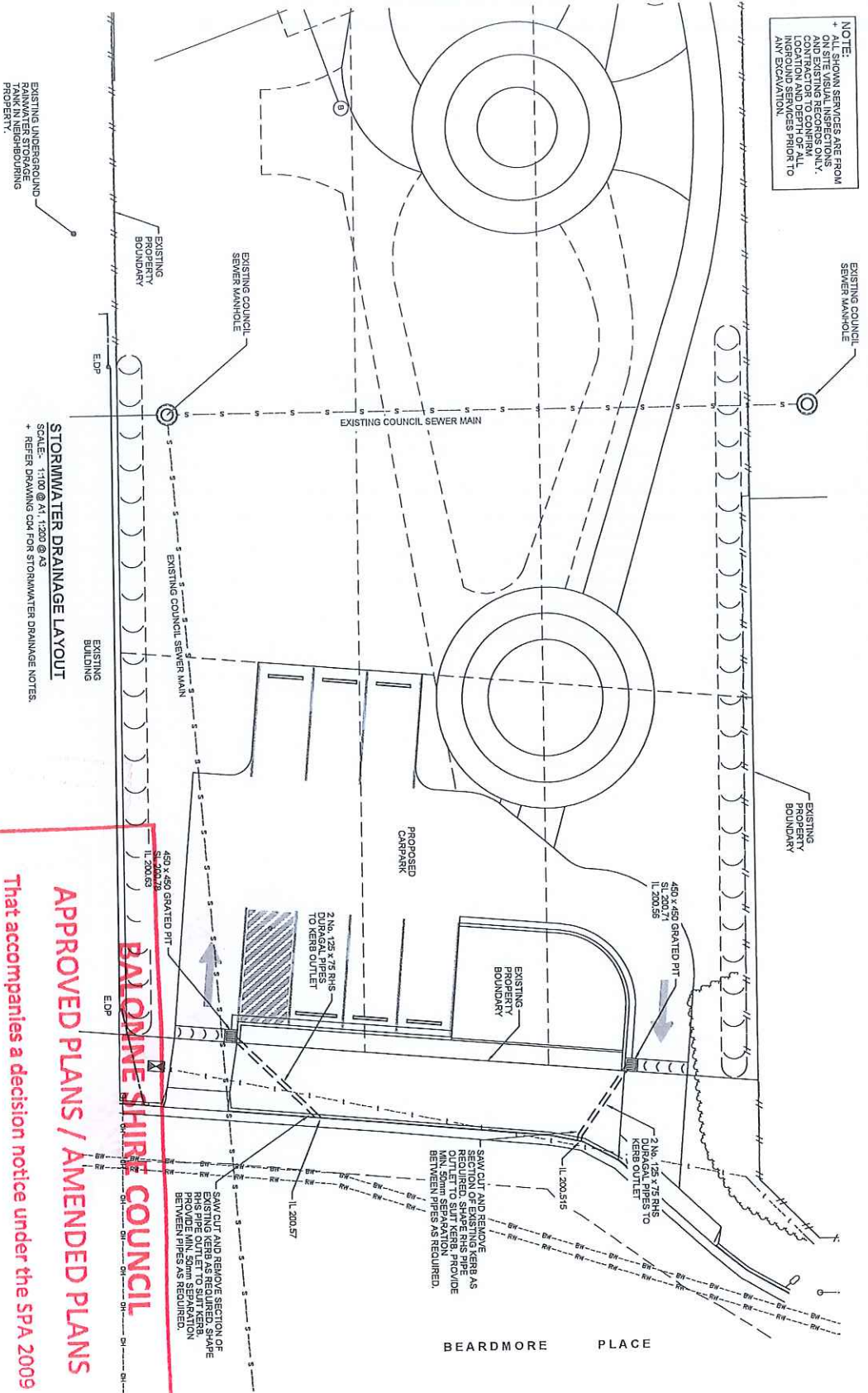






NOTE:  
+ ALL SHOWN SERVICES ARE FROM  
ON SITE SURVEY SERVICES ONLY.  
AND THE CONTRACTOR TO CONFIRM  
LOCATION AND DEPTH OF ALL  
EXISTING SERVICES PRIOR TO  
ANY EXCAVATION.

REFER TO DRAWING C04 FOR CONTINUATION



**STORMWATER DRAINAGE LAYOUT**  
SCALE: 1:100 @ A1 1:200 @ A3  
+ REFER DRAWING C04 FOR STORMWATER DRAINAGE NOTES.

**LEGEND**

EDP	DENOTES EXISTING COUINPIRE
DP	DENOTES PROPOSED DOWNPIPE
IL	INVERT LEVEL
MH	MANHOLE
SL	SURFACE LEVEL
---	NEW STORMWATER LINE
---	EXISTING STORMWATER LINE
---	DN80 H.D.P.E. SLOTTED SUB-SOIL DRAINAGE PIPE WITH GEOTEXTILE SACK
---	EXISTING STORMWATER DRAINAGE SYSTEM AS DETERMINED ON SITE

**BALDORNE SHIRE COUNCIL**

**APPROVED PLANS / AMENDED PLANS**

That accompanies a decision notice under the SPA 2009

File Number **MC0191**

Date of Approval **18.03.21**

Assessment Mgr / CEO *[Signature]*

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FORM 78704  
R1.200.055 (AHD)

ISSUE	DATE	DETAILS	INITIAL
P1	18.12.20	COORDINATION ISSUE	BU
P2	23.12.20	100% SO ISSUE	BU

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SCALE 1:100 @ A1  
SCALE 1:200 @ A3

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
DATE: 23.12.20 03:42 PM



**Keohoe Myers**  
CONSULTING ENGINEERS  
MEMBERSHIP: CIVIL  
REGISTERED: CIVIL  
REGISTERED: MECHANICAL  
REGISTERED: ELECTRICAL  
REGISTERED: PLUMBING  
REGISTERED: GAS FITTING  
REGISTERED: AIR CONDITIONING  
REGISTERED: REFRIGERATION  
REGISTERED: HEATING  
REGISTERED: SANITARY  
REGISTERED: WATER SUPPLY  
REGISTERED: DRAINAGE  
REGISTERED: ROOFING  
REGISTERED: GLAZING  
REGISTERED: FLOORING  
REGISTERED: PAINTING  
REGISTERED: JOINERY  
REGISTERED: CARPENTRY  
REGISTERED: CONCRETE  
REGISTERED: MASONRY  
REGISTERED: TILING  
REGISTERED: PLASTERING  
REGISTERED: GARDENING  
REGISTERED: LANDSCAPING  
REGISTERED: FENCING  
REGISTERED: SECURITY  
REGISTERED: ELECTRICAL  
REGISTERED: PLUMBING  
REGISTERED: GAS FITTING  
REGISTERED: AIR CONDITIONING  
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REGISTERED: WATER SUPPLY  
REGISTERED: DRAINAGE  
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REGISTERED: FLOORING  
REGISTERED: PAINTING  
REGISTERED: JOINERY  
REGISTERED: CARPENTRY  
REGISTERED: CONCRETE  
REGISTERED: MASONRY  
REGISTERED: TILING  
REGISTERED: PLASTERING  
REGISTERED: GARDENING  
REGISTERED: LANDSCAPING  
REGISTERED: FENCING

CLIENT	DEPARTMENT OF NATURAL RESOURCES, MINES & ENERGY
PROJECT	ST GEORGE HARMONY CENTRE 77A/76 ST GEORGES TERRACE, ST GEORGE, QLD 4487
DRAWING TITLE	SCHEMATIC DESIGN STORMWATER DRAINAGE LAYOUT - SHEET 2 OF 2
DESIGN	DATE ORIGINAL SIZE A1
DRAWN	DATE PROJECT S1920193
CHECKED	DATE NUMBER 402
APPROVED	DATE DRAWING NUMBER C05
DATE	SCALE P2











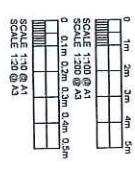




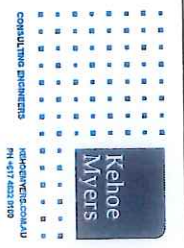
Notes: These drawings are prepared by the Engineer for the Client. The Client is responsible for the design and construction of the works shown on these drawings. The Engineer is not responsible for the design and construction of the works shown on these drawings. The Engineer is not responsible for the design and construction of the works shown on these drawings. The Engineer is not responsible for the design and construction of the works shown on these drawings.

DATE: 23.12.20 04:03 PM  
 PROJECT: ST GEORGE'S TERRACE, ST GEORGE, QLD 4487

SCALE	DATE	DRAWING TITLE	ISSUE
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1:200 @ A3	23.12.20	ROOF DRAINAGE LAYOUT	02
1:100 @ A1	23.12.20	ROOF DRAINAGE LAYOUT	03
1:200 @ A3	23.12.20	ROOF DRAINAGE LAYOUT	04



**PRELIMINARY**  
 NOT FOR CONSTRUCTION  
 DATE: 23.12.20 04:03 PM

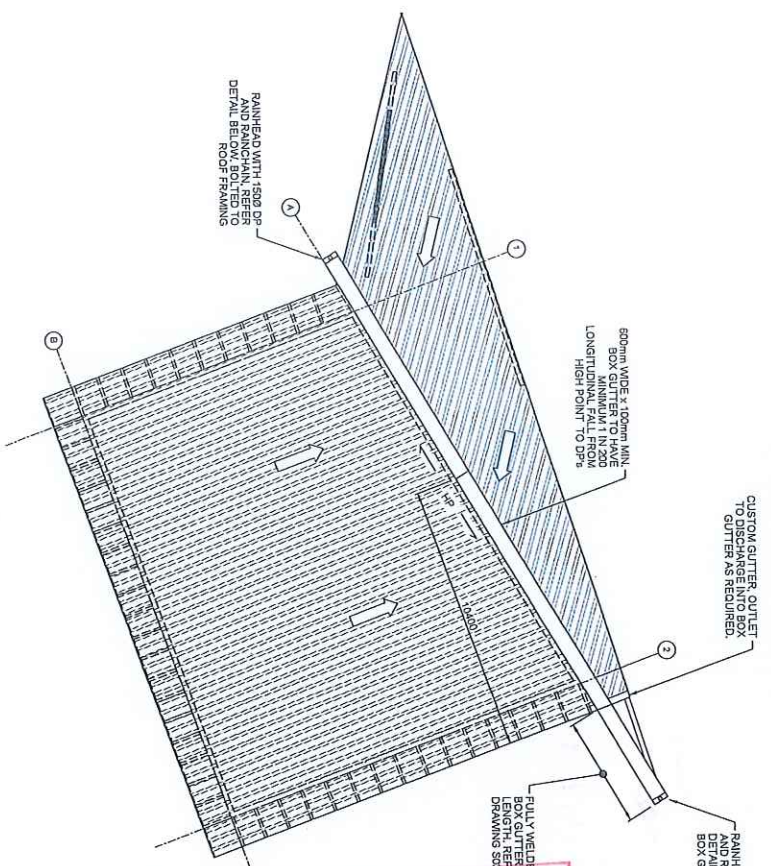


CLIENT  
 DEPARTMENT OF NATURAL RESOURCES, MINES & ENERGY  
 PROJECT NUMBER: S1920193  
 DRAWING NUMBER: H04  
 DRAWING TITLE: SCHEMATIC DESIGN ROOF DRAINAGE LAYOUT

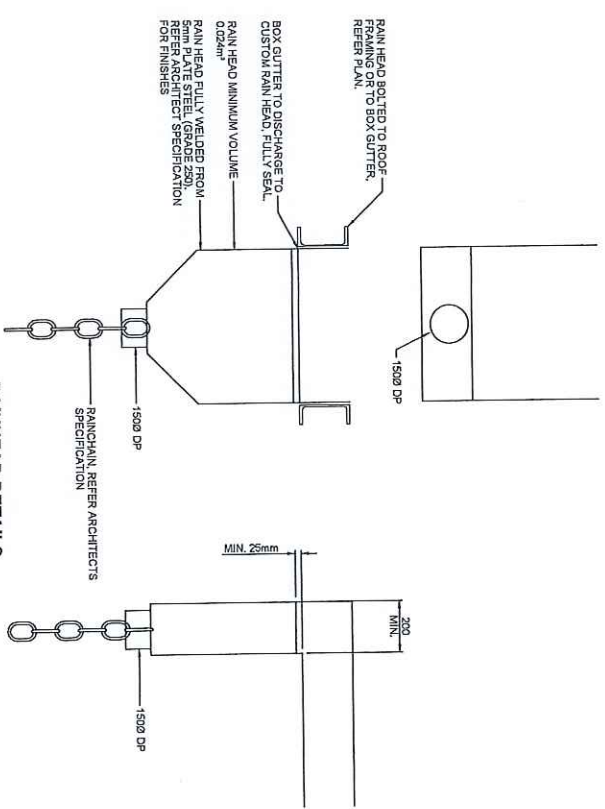
DESIGN	DATE	ISSUE
DESIGNED	22	01
CHECKED	22	01
APPROVED	22	01

LEGEND	
DP	PROPOSED DOWNPIPE
HP	DOWNPIPE HIGH POINT
→	DIRECTION OF FALL IN GUTTER
↔	DIRECTION OF FALL IN ROOF

**BALONNE SHIRE COUNCIL**  
**APPROVED PLANS / AMENDED PLANS**  
 That accompanies a decision notice under the SPA 2009  
 File Number: New 191  
 Date of Approval: 18.03.21  
 Assessment Mgr / CEO: Spalding



**ROOF DRAINAGE LAYOUT**  
 SCALE: 1:100 @ A1, 1:200 @ A3



**RAINHEAD DETAILS**  
 SCALE: N.T.S.











